

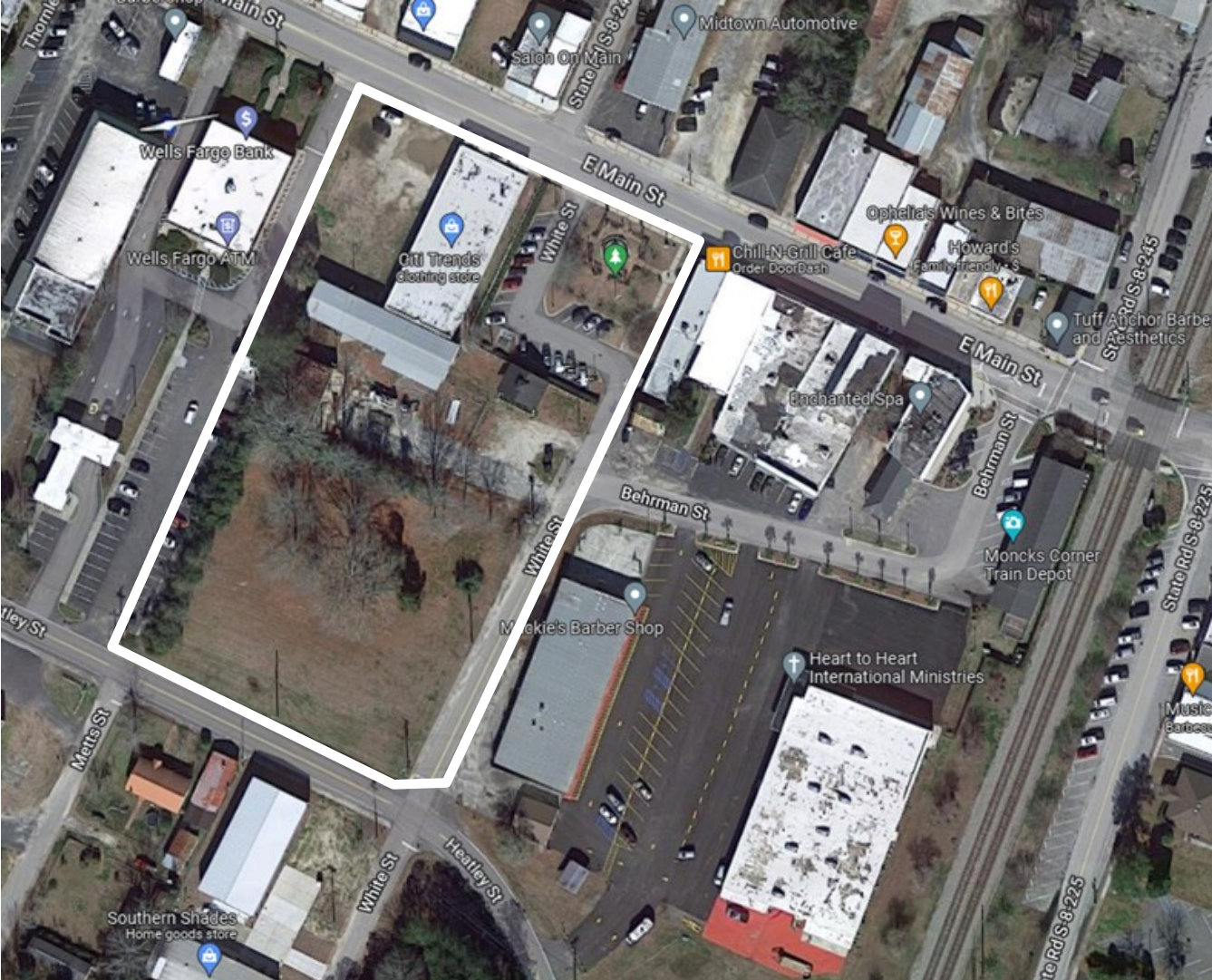
Request for Interest

Town Square Redevelopment Plan



MONCKSCORNER

The Lowcountry's Hometown



Introduction

The Town of Moncks Corner, South Carolina, is seeking interest for a transformative downtown redevelopment project. The overall project is approximately 4 acres, located at the current site of Unity Park on Main Street, Moncks Corner and extending to Heatley Street to the south.

The Town's vision is to transform the park and the vacant lands to the south into a downtown commercial square, featuring approximately 34,000 GFA of commercial space, with possible upper story office and residential, a performance area with lawn, water feature, and parking. The Town has performed all preliminary site design and will be responsible for the installation and maintenance of all parking, roads, landscaping, and amenity features. The Town is seeking one or more qualified firms to build, maintain, and lease out the commercial structures. These building lots will be subdivided and deeded to the winning firm(s). Two new commercial buildings of 8,000 and 17,600 sf (ground floor sq. footage) are envisioned. These are buildings 5 & 6 on the concept plan (see next page)

These buildings must be designed in accordance with the included Architectural Guidelines, with final designs approved by the Town of Moncks Corner.

Property Identification

The subject property is a 2.38 acre+/- parcel of vacant and built upon land. The property is located at 311 East Main Street in Moncks Corner, South Carolina. Located in the center of the downtown, the property includes Unity Park and is within walking distance of multiple restaurants, shops and services, as well as the Moncks Corner Regional Recreation Complex. The subject is also identified by the Berkeley County Tax Assessor's Office as tax parcel numbers 1420702003, 1420702004, 1420702005, 1420702017, 1420702018, 1420702019, all of which are owned outright by the Town of Moncks Corner.



Plan View

Plan Legend

- 1 White St.
- 2 Behrman St.
- 3 Parking Lot (47 Spaces)
- 4 Existing Citi Trends Building
- 5 Proposed Building (+/-8,096 s.f.)
- 6 Proposed Building (+/-17,616 s.f.)
- 7 Event Lawn with Elevated Stage & Pavilion
- 8 Relocated Center Fountain in New Fountain Basin with Decorative Paver Plaza
- 9 Angled On-Street Parking with Decorative Pavers
- 10 Train Depot Building
- 11 Additional Parking off E. Main St. (22 Spaces)



Conceptual Plan

Why Do This?

Main Street isn't just the primary way through the old commercial center of Moncks Corner—it's an idea replicated nationwide. Main Street is where people come together. It's shopping, dining, visiting the hairdresser and going to church. In Moncks Corner, it's hundreds of kids playing ball — and hundreds of parents watching excitedly — at the Regional Recreation Complex every afternoon and weekend.

The Town has been slowly acquiring land between Main and Heatley Streets for the better part of a decade and, with the demolition of the old White Street Maintenance Shop in 2021, the Town is finally ready to redevelop this tract.

Thousands of square feet of new retail and restaurant space in the heart of downtown. Possible second story residential, offices, maybe even a rooftop nightspot. The Town is growing, but it needs to consolidate some of that growth where it belongs — on Main Street.

It's time to reclaim Main Street as more than a road—it's the commercial and spiritual center of the Lowcountry's Hometown.



	Estimated Population	Median HH Income
3-Mile Radius	11,492	\$51,874
5-Mile Radius	21,497	\$53,956
10-Mile Radius	47,249	\$58,409
5-Minute Drive	2,982	\$55,233
10-Minute Drive	15,578	\$52,101
15-Minute Drive	31,071	\$56,405



Property Location

Business Environment

- 2010 Population: 7,885
- 2021 Population: 13,644
- Growth: 69%

2017-2022 Construction:

- 1,614 new residential permits
- 95 new commercial permits
- \$661 million in value for all permits

Residential Units Approved but Not Yet Built:

- 2,166 Single Family Detached
- 1,241 Townhomes
- 331 Apartment Units

Berkeley Electric Cooperative New Headquarters

Public Shopping Center:

- 48,000 sf Publix
- 27,000 sf Additional Retail Space



retailstrategies.com



retail strategies

MONCK'S CORNER, SOUTH CAROLINA Market Guide

City Contact Information



Jeff Lord
Town Administrator

jeff.lord@monckscornersc.gov

(843) 719-7900 office

monckscornersc.gov

Focus Properties

Retail Strategies has a catalogue of retail commercial real estate properties in this market.



For more information, please contact the Portfolio Director and/or Retail Development Director listed on the front of this guide.

Demographics (Custom Trade Area)



Population
61,664



Average Age
40.3



Household Income (Median)
\$58,218



Number of Households
23,051



Growth Rate
7.14%



Household Income (Average)
\$70,957

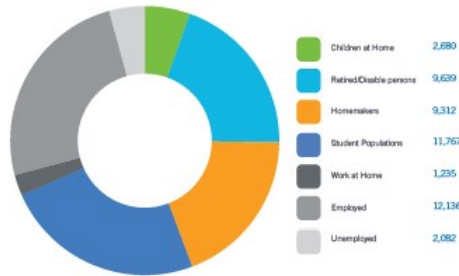
Peer Analysis

The Peer Analysis, built by Retail Strategies along with our analytics partner (Tetrad), identifies analogue retail nodes within a similar demographic and retail makeup. The Peer Analysis is derived from a 5 or 10 minute drive time from major comparable retail corridors throughout the country. The variables used are population, income, daytime population, market supply and gross leasable area. The following are retail areas that most resemble this core city.

Peer Trade Areas

- Pickens, SC 2637 Gantry Memorial Hwy
- Leesville, SC 115 E Church St
- Camden, SC 2240 W Dekalb St
- Lexington, SC 1780 S Lake Dr
- Bolling Springs, SC 4000 Hwy #9

Daytime Population **48,851** (Custom Trade Area)



Focus Categories

The top categories for focused growth in the municipality are pulled from a combination of leakage reports, peer analysis, retail trends and real estate intuition. Although these are the top categories, Retail Strategies' efforts are inclusive beyond the defined list. *Let us know how we can help you find a site!*



Restaurants



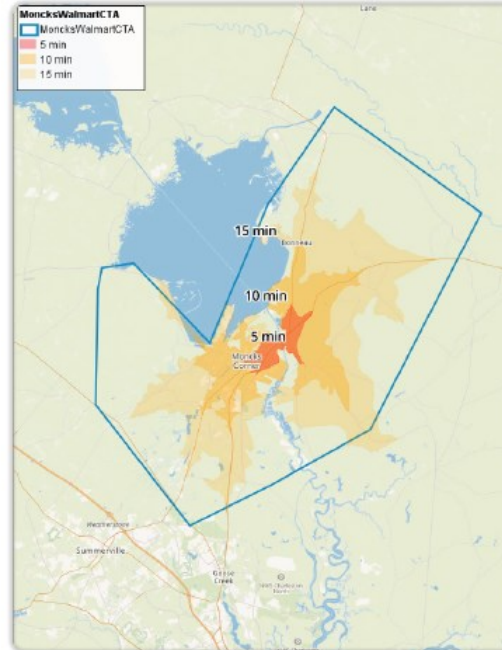
Grocery



Building Equipment



Health & Personal Care



DEMOGRAPHIC PROFILE	3 Mile Radius	5 Mile Radius	10 Mile Radius
2020 Estimated Population	11,671	21,974	49,786
Daytime Population	13,271	20,395	38,696
Median HH Income	\$54,041	\$55,484	\$60,534
Number of Households	4,393	8,135	18,770

	5 Minute DT	10 Minute DT	15 Minute DT
2020 Estimated Population	3,992	18,308	34,863
Daytime Population	9,023	19,364	32,055
Median HH Income	\$57,520	\$53,984	\$57,846
Number of Households	1,563	6,727	12,926



Jeff Sommer
Portfolio Director
jsommer@retailstrategies.com
205.209.4594 office



Drew Kaufmann
Retail Development Coordinator
dkaufmann@retailstrategies.com
205.209.4593 office



Follow us! [in](#) [ig](#) [f](#) [t](#)



MONCKSCORNER

The Lowcountry's Hometown

Architectural Guidelines

Intent

To provide guidance on the design of buildings within the downtown portion of Moncks Corner, SC so they can remain aesthetically and functionally cohesive with the existing buildings in the area.

Guidelines

1. Buildings street façades shall be set directly along the sidewalk/property line without setback.
 2. The entrance door shall be set back in a niche at least the depth of the width of one door leaf. The side walls of the niche and shall flare out at least a 45-degree angle. a. Side walls of the niche may project between 45-90 degrees from the entrance if the niche is at least twice the width of the door opening.
 3. Street façade walls to be clad in brick or cementitious stucco.
 - a. Synthetic stucco (EIFS), vinyl siding, and metal panels are not acceptable claddings.
 - b. Steel, wood, or cementitious siding may be allowed at the ground floor for multiple-story buildings at the street façade if fenestration exceeds 60% of that portion of the façade as measured from slab to ceiling (in the vertical direction) and partition wall to partition wall (in the horizontal direction)
 4. The first-floor street façade shall include a minimum of 40% fenestration consisting of large storefront window openings with a sill no higher than 2'-0" above the sidewalk surface.
 5. Street facades for buildings of one story to have a discernable body and cap; street facades for buildings two or more stories to have a discernable base, body, and cap.
 6. Upper floors on street facades to have pattern of individual fenestration with each opening having a proportion where the height is greater than the width. The minimum total fenestration for the upper floors shall be at least 25% of upper floor wall surface of each floor level as measured from the finish floor to the ceiling of that level.
 7. Pedestrian-oriented signage oriented perpendicular to the street façade is required; façade signage is allowed within the cap of the building.
 8. A façade shall be discernably different in design from an adjacent façade at a rate of no more than 1.5 times its height. a. To encourage variety and interest, individual facades shall be differentiated from each other using differing materials, colors, façade heights, and detail.
 9. The number of floors is not to exceed 4.
 10. Awnings constructed of aluminum, steel, or wood structure with opaque canvas or metal roof surface are encouraged over first floor window openings along the street façade. Awnings shall have a minimum depth of 4'-0".
-
-

Architectural Guidelines



Moncks Corner, SC. Example shows building facades directly to the sidewalk and entry niches

Architectural Guidelines



Beaufort, SC. Example shows a base, body, and cap for multiple-story buildings. Niches, awnings, pedestrian-oriented signage, increased fenestration on the ground floor, and aesthetic variation are also exemplified here.

Architectural Guidelines

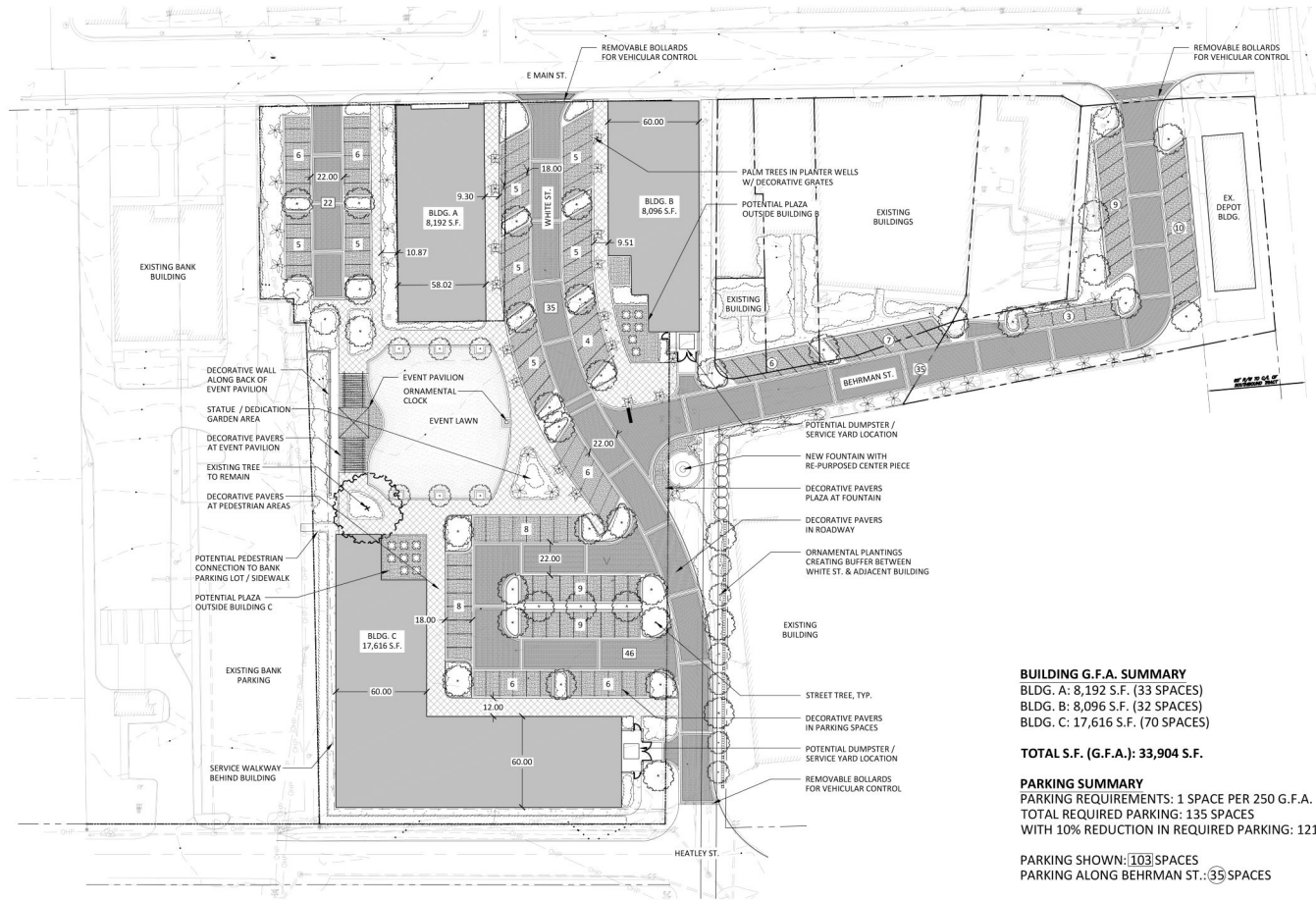


Bamberg, SC. Example shows aesthetic variation to avoid monotony and overly linear facades.

Architectural Guidelines



Charleston, SC. Example shows pedestrian-oriented signage and aesthetic variation.



BUILDING G.F.A. SUMMARY
 BLDG. A: 8,192 S.F. (33 SPACES)
 BLDG. B: 8,096 S.F. (32 SPACES)
 BLDG. C: 17,616 S.F. (70 SPACES)

TOTAL S.F. (G.F.A.): 33,904 S.F.

PARKING SUMMARY
 PARKING REQUIREMENTS: 1 SPACE PER 250 G.F.A.
 TOTAL REQUIRED PARKING: 135 SPACES
 WITH 10% REDUCTION IN REQUIRED PARKING: 121 SPACES

PARKING SHOWN: 103 SPACES
 PARKING ALONG BEHRMAN ST.: 35 SPACES

Moncks Corner Town Square | Site Plan (N.T.S.)





Aerial Perspective towards Event Lawn

Moncks Corner Town Square | Conceptual Illustrations



Aerial Perspective from Event Lawn towards Behrman St.

Moncks Corner Town Square | Conceptual Illustrations



Perspective From Behrman St. towards Event Lawn

Moncks Corner Town Square | Conceptual Illustrations



Perspective entering White St. from E. Main St. (Ex. Citi Trends Bldg on Right)

Moncks Corner Town Square | Conceptual Illustrations



Perspective entering parking lot off of White St. (Event Lawn to the right)

Moncks Corner Town Square | Conceptual Illustrations



Eye Level Perspective entering the Event Lawn

Moncks Corner Town Square | Conceptual Illustrations



Town Square Redevelopment Plan

Request for Interest

Town of Moncks Corner, S.C.
118 Carolina Avenue
Moncks Corner, S.C. 29461
843-719-7910
jeff.lord@monckscornersc.gov